

LOCATION MAP
NOT-TO-SCALE

LEGEND

AE	PEDESTRIAN ACCESS EASEMENT
BL	BUILDING SETBACK LINE
BM	BENCHMARK
C.B.	COUNTY BLOCK
DA	DRAINAGE AREA
DE	DRAINAGE EASEMENT
ELEV	ELEVATION
NTS	NOT TO SCALE
NO	NUMBER
POB	POINT OF BEGINNING
RE	REFERENCE
REV	REVISION
R.O.W.	RIGHT OF WAY
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
OHE	OVERHEAD OR UNDERGROUND EASEMENT
O.P.R.B.C.TX	OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
UE	UTILITY EASEMENT
WWE	WATER AND WASTEWATER EASEMENT
FWLE	FENCE WALL AND LANDSCAPE EASEMENT
FFE	FINISHED FLOOR ELEVATION
FE	FENCE EASEMENT
VAR	VARIABLE
●	1/2" IRON ROD FOUND
○	1/2" IRON ROD W/ CAP MARKED "YALGO LLC" SET
—	CHANGE IN BEARING
NO. #	BENCHMARK
EL. ###	10' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO ROW
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—	STREET CENTERLINE
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WASTEWATER EDU NOTE:
THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO RIVER AUTHORITY UNDER THE PLAT NUMBER.

IMPACT FEE NOTE:
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CPS SAWS/COSA UTILITY NOTE:

1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

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3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

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STATE OF TEXAS
COUNTY OF WILLIAMSON

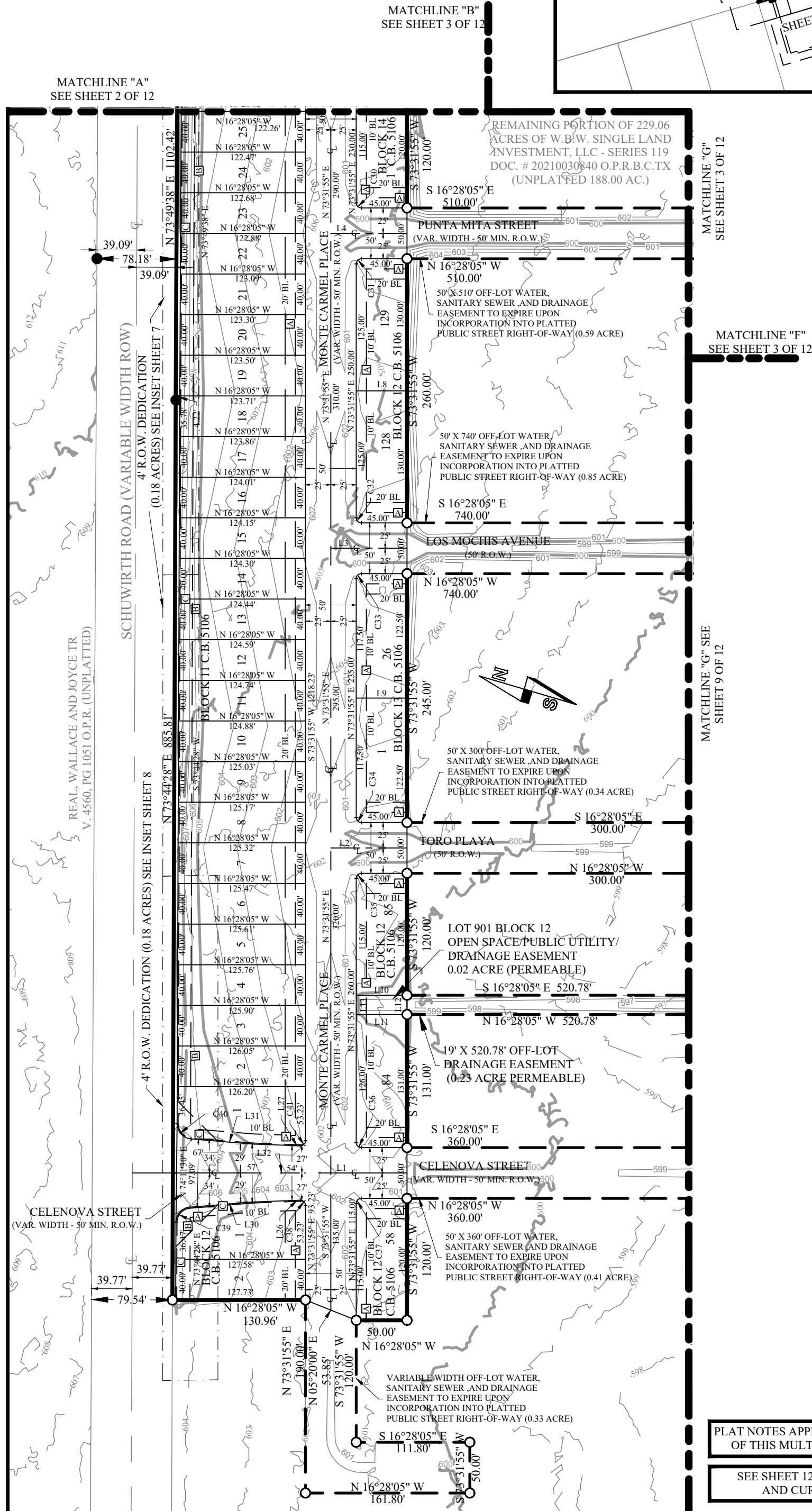
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION

STATE OF TEXAS
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I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

LICENSED PROFESSIONAL ENGINEER

REGISTERED PROFESSIONAL LAND SURVEYOR



PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

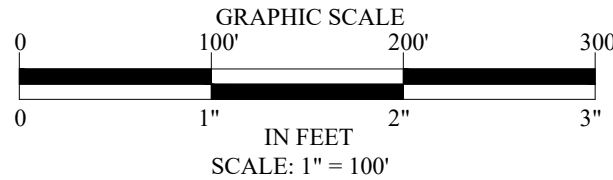
SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 1 OF 12

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 20220245610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____, A.D. 20 ____.

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.
DATED THIS ____ DAY OF ____, A.D. 20 ____.

BY: _____ CHAIRMAN

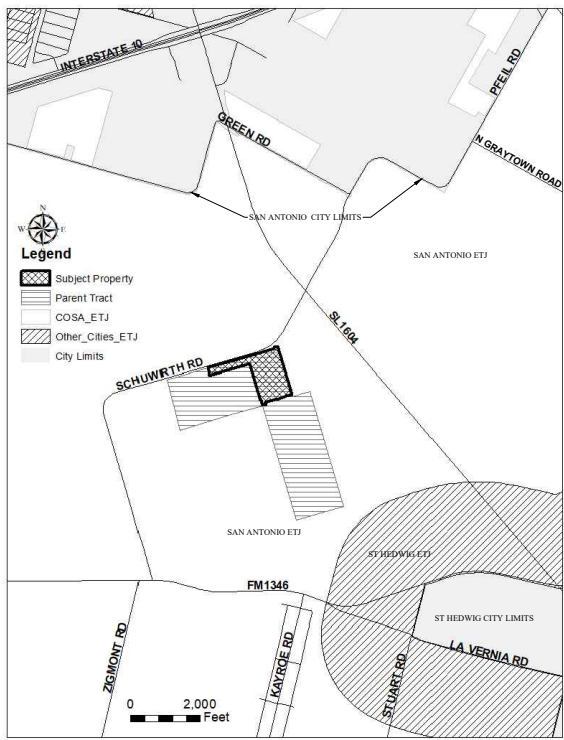
BY: _____ SECRETARY

CERTIFICATE OF APPROVAL
THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

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COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS



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STATE OF TEXAS
COUNTY OF WILLIAMSON

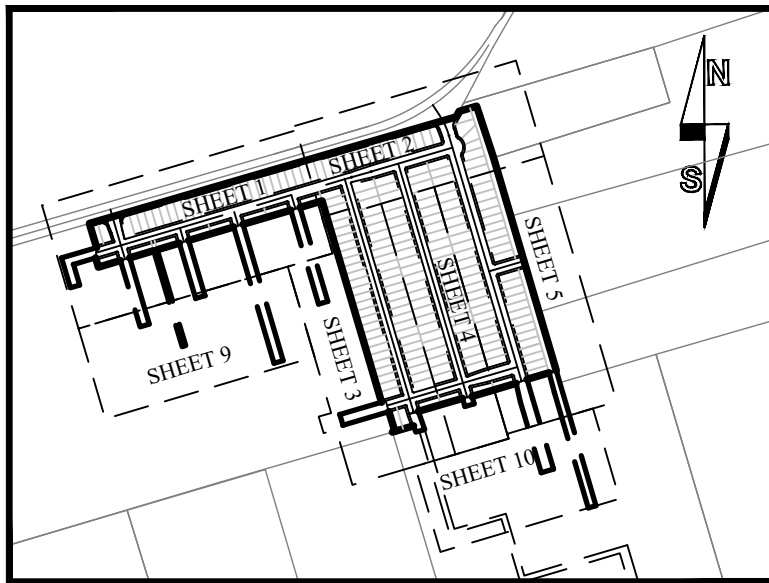
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LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
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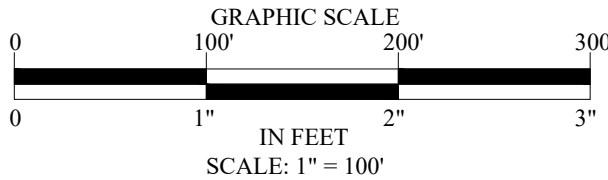


INDEX MAP
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Texas Registered Engineering Firm F-10264

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BY: _____
CHAIRMAN

BY: _____
SECRETARY

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COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

PLAT NOTES APPLY TO
EVERY PAGE OF THIS
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SEE SHEET 12 OF 12 FOR LINE
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SHEET 2 OF 12

VISTA REAL PHASE I

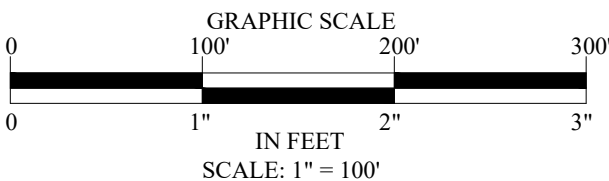
CIVIL JOB NO. XXXX-XX; SURVEY JOB NO. XXXX-XX

FILE PATH

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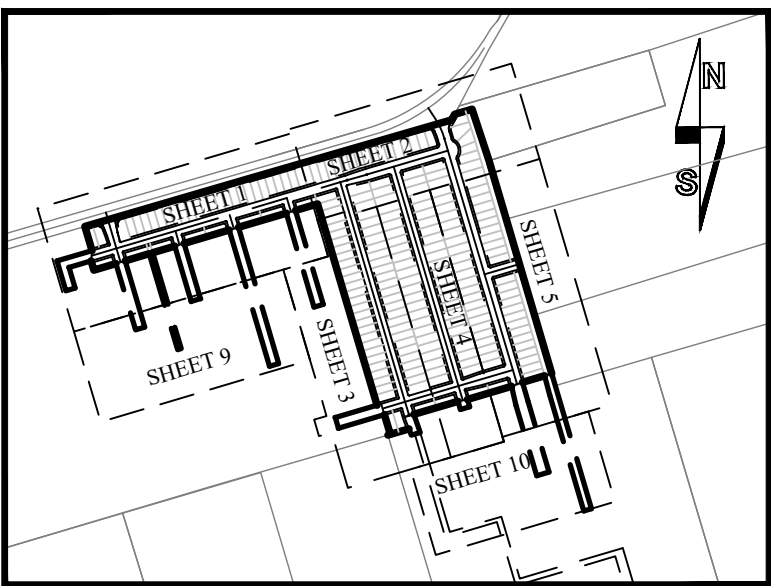
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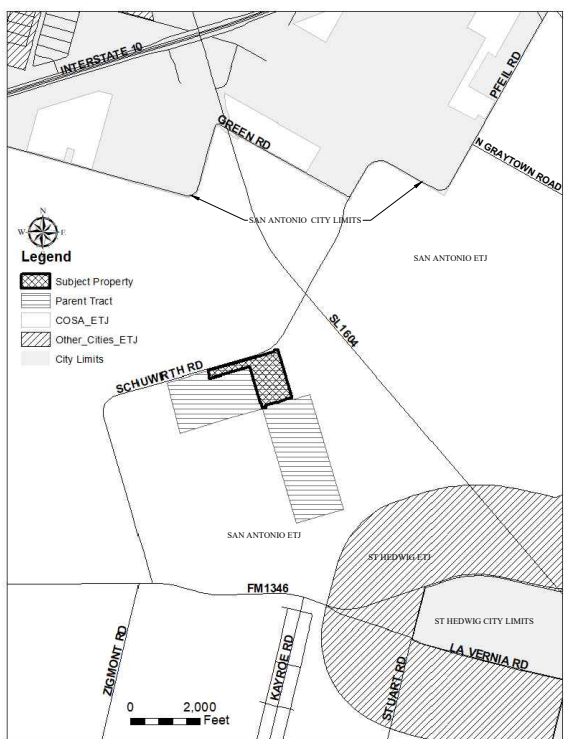
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3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON. 4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF WILLIAMSON

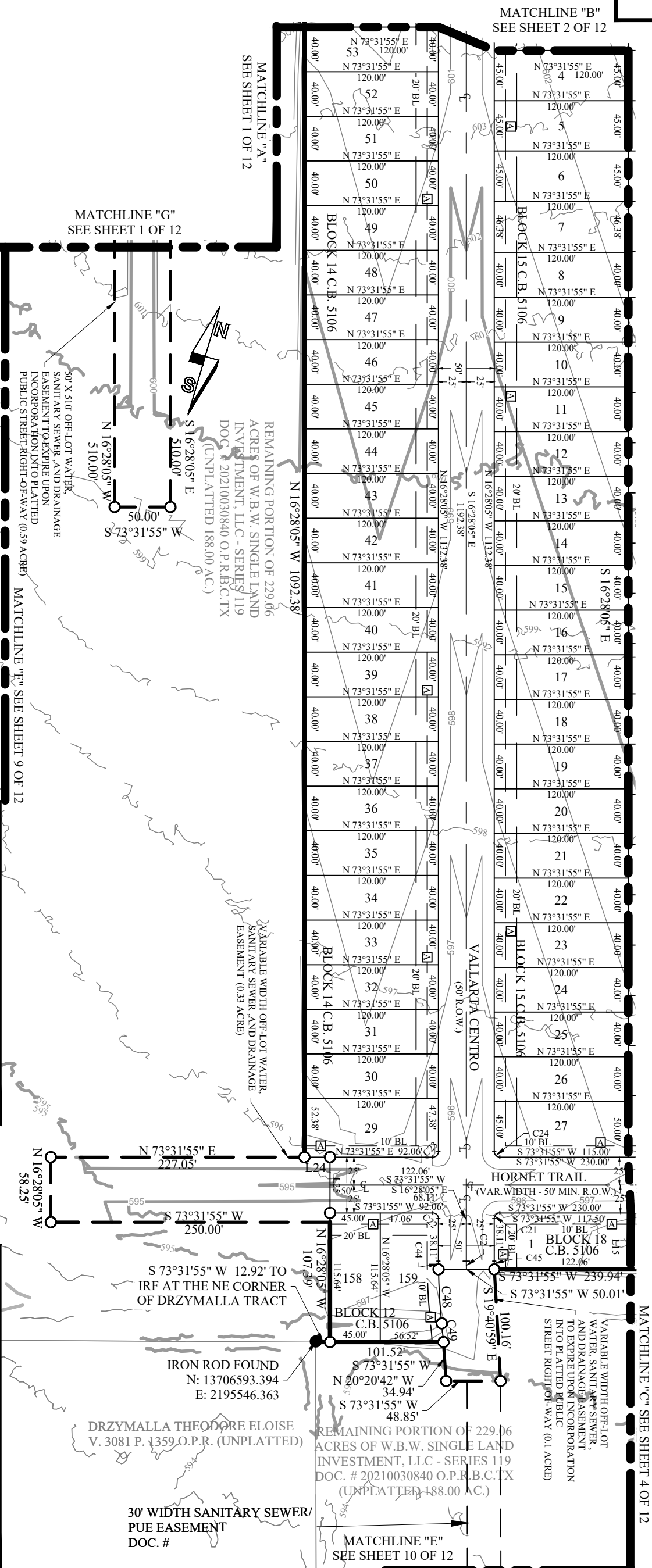
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION

STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

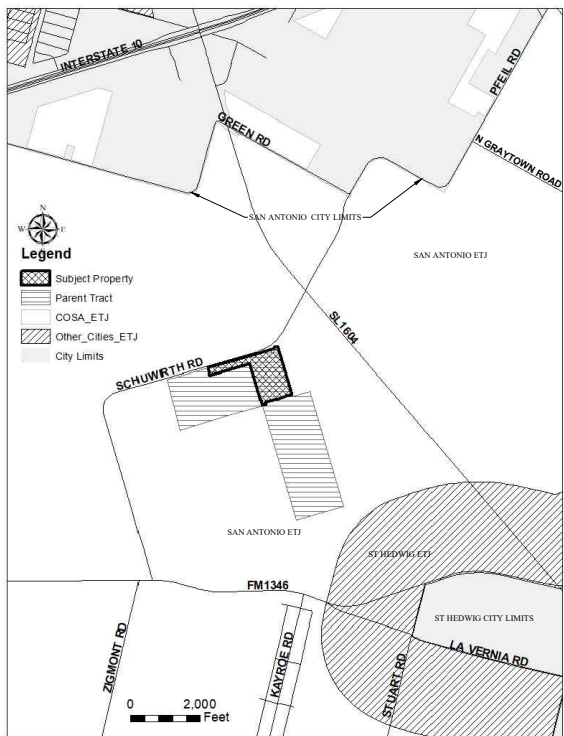
LICENSED PROFESSIONAL ENGINEER

REGISTERED PROFESSIONAL LAND SURVEYOR



PLAT NOTES APPLY TO
EVERY PAGE OF THIS
MULTIPLE PAGE PLAT

SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES



LOCATION MAP
NOT-TO-SCALE

LEGEND

AE	PEDESTRIAN ACCESS EASEMENT
BL	BUILDING SETBACK LINE
BM	BENCHMARK
C.B.	COUNTY BLOCK
DA	DRAINAGE AREA
DE	DRAINAGE EASEMENT
ELEV	ELEVATION
NTS	NOT TO SCALE
NO	NUMBER
POB	POINT OF BEGINNING
RE	REFERENCE
REV	REVISION
R.O.W.	RIGHT OF WAY
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
OHE	OVERHEAD OR UNDERGROUND EASEMENT
O.P.R.B.C.TX	OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
UE	UTILITY EASEMENT
WWE	WATER AND WASTEWATER EASEMENT
FWLE	FENCE WALL AND LANDSCAPE EASEMENT
FFE	FINISHED FLOOR ELEVATION
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VAR	VARIABLE
●	1/2" IRON ROD FOUND
○	1/2" IRON ROD W/ CAP MARKED "YALGO LLC" SET
— —	CHANGE IN BEARING
⊕ NO. #	BENCHMARK
EL. ###	10' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO ROW
□	14' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO SCHUWIRTH RD ROW
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— —	EASEMENT
— —	STREET CENTERLINE
— —	INSET LINE

WASTEWATER EDU NOTE:
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IMPACT FEE NOTE:
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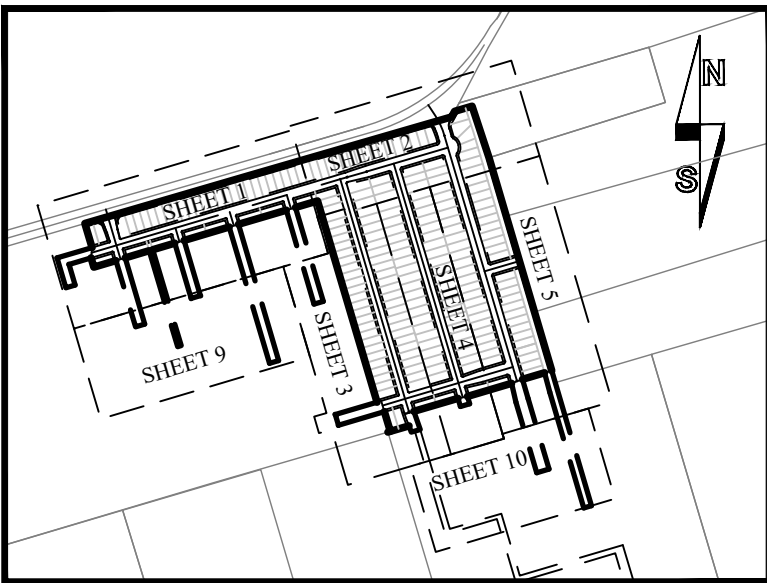
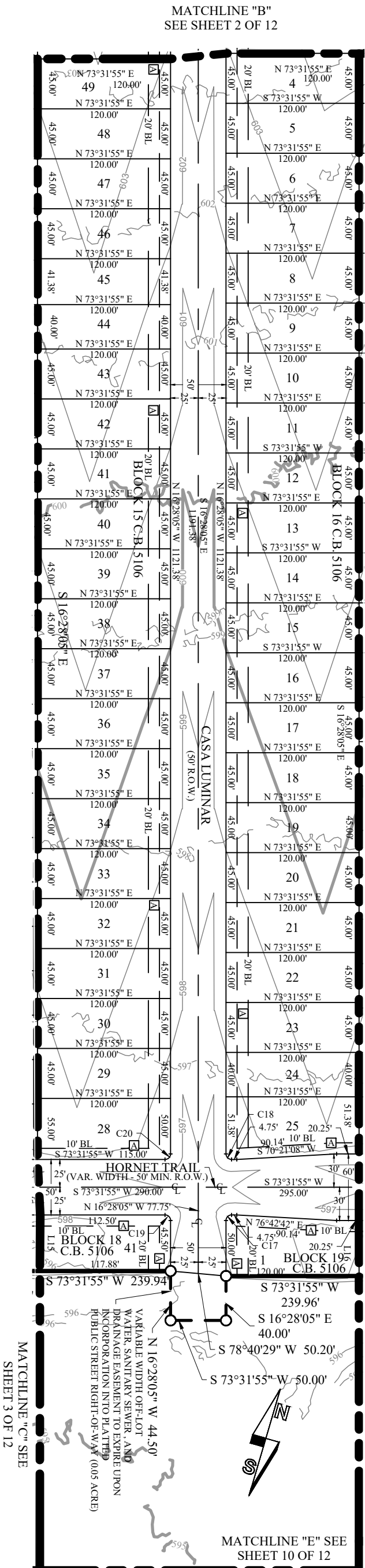
STATE OF TEXAS
COUNTY OF WILLIAMSON

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STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

REGISTERED PROFESSIONAL LAND SURVEYOR

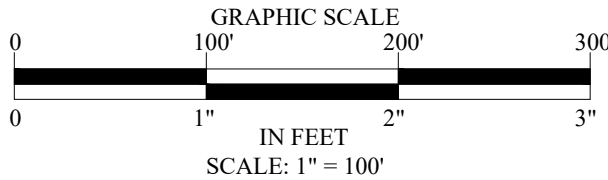


INDEX MAP
NOT-TO-SCALE

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 2022045610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, A.D. 20 ____.

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.
DATED THIS ____ DAY OF _____, A.D. 20 ____.

BY: _____
CHAIRMAN

BY: _____
SECRETARY

CERTIFICATE OF APPROVAL
THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS ____ DAY OF _____, A.D. 20 ____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

PLAT NOTES APPLY TO
EVERY PAGE OF THIS
MULTIPLE PAGE PLAT

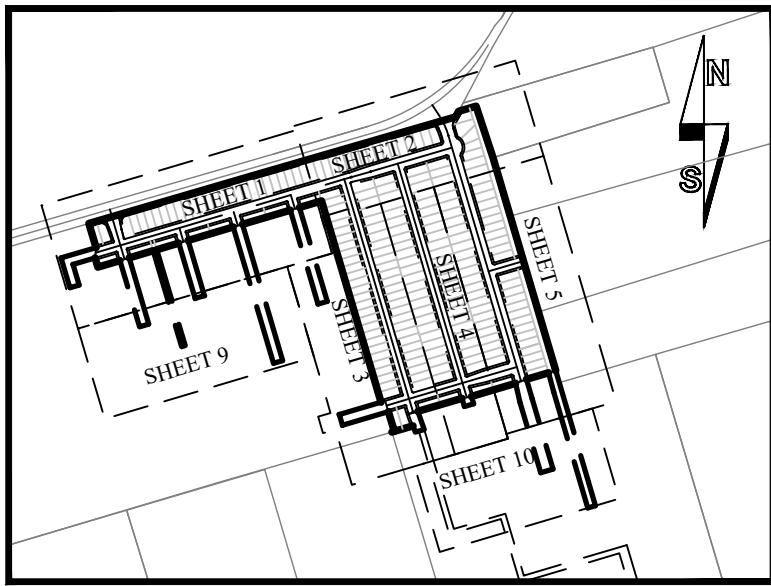
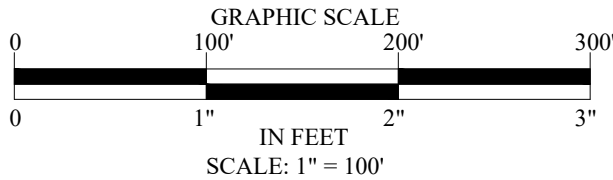
SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 4 OF 12

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF
VISTA REAL PHASE I

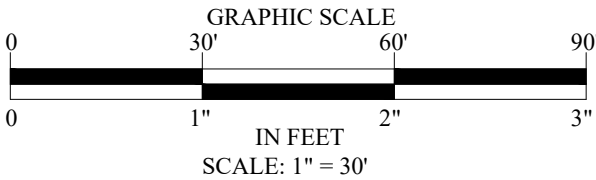
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Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

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OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

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THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.
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BY: _____
CHAIRMAN

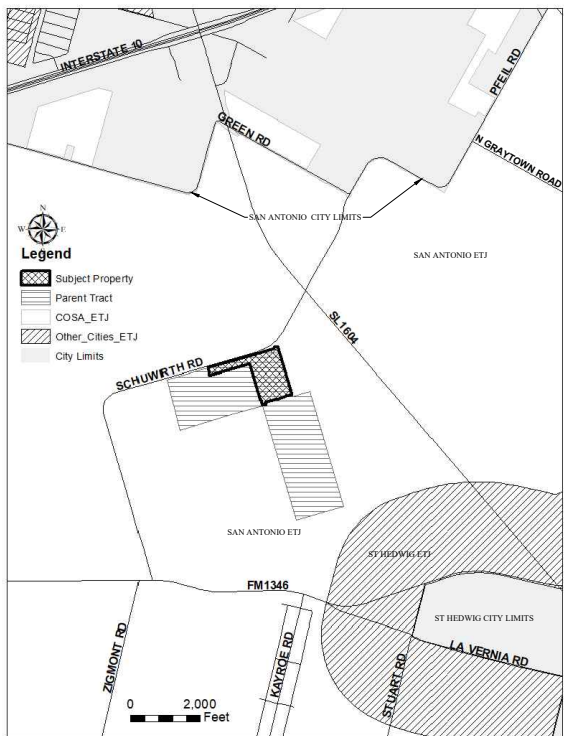
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SECRETARY

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DATED THIS ____ DAY OF ____, A.D. 20 ____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS



LOCATION MAP
NOT-TO-SCALE

LEGEND

AE PEDESTRIAN ACCESS EASEMENT
BL BUILDING SETBACK LINE
BM BENCHMARK
C.B. COUNTY BLOCK
DA DRAINAGE AREA
DE DRAINAGE EASEMENT
ELEV ELEVATION
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OHE OVERHEAD OR UNDERGROUND EASEMENT
O.P.R.B.C.TX OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS

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FE FENCE EASEMENT
VAR VARIABLE
● 1/2" IRON ROD FOUND
○ 1/2" IRON ROD W/ CAP MARKED "YALGO LLC" SET
CHANGE IN BEARING

NO. #
EL. ###
BENCHMARK
10' ELECTRIC, GAS, TELEPHONE AND CABLE TV
EASEMENT ADJACENT TO ROW
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STATE OF TEXAS
COUNTY OF WILLIAMSON

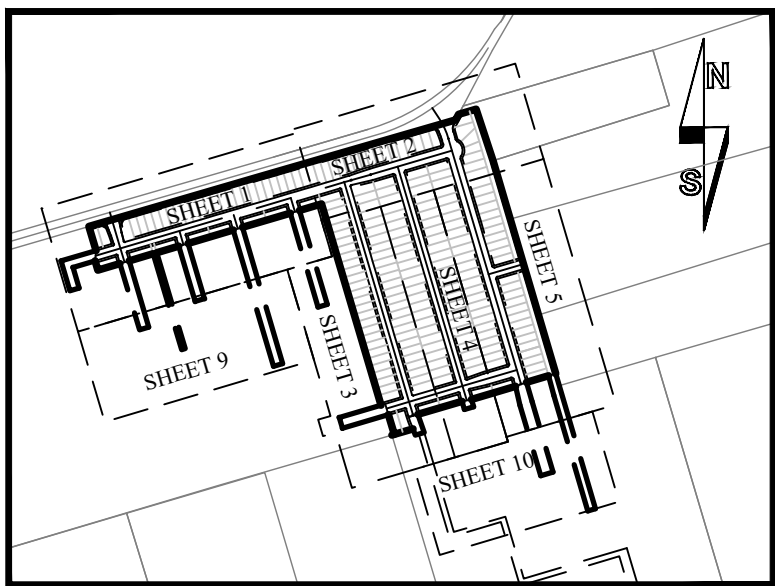
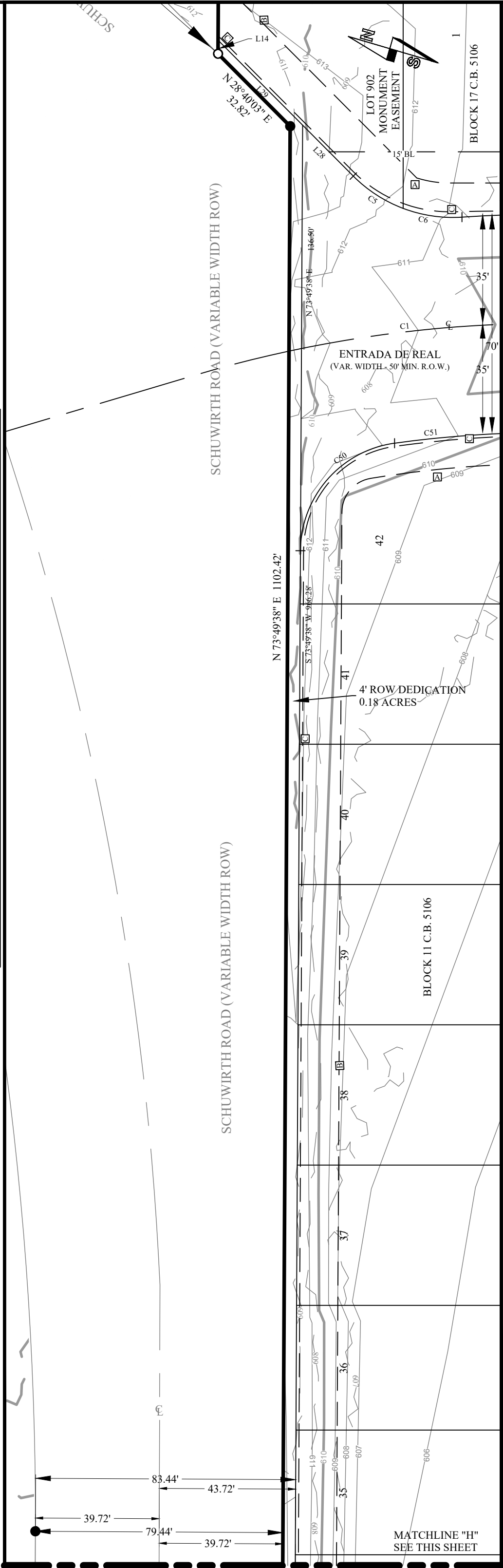
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LICENSED PROFESSIONAL ENGINEER

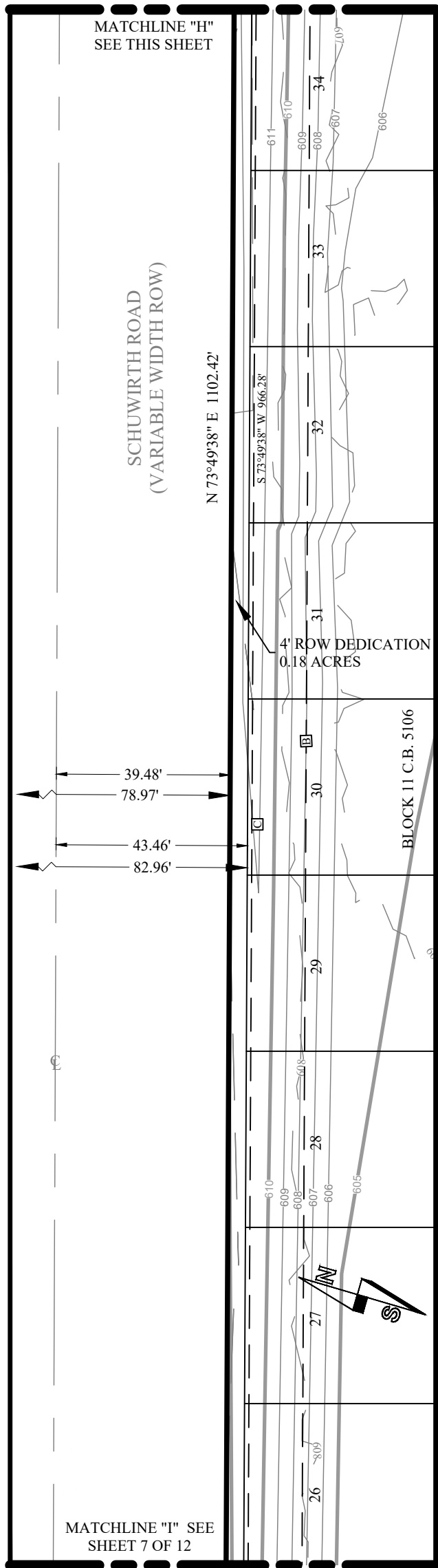
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COUNTY OF WILLIAMSON

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REGISTERED PROFESSIONAL LAND SURVEYOR



INDEX MAP
NOT-TO-SCALE



PLAT NOTES APPLY TO
EVERY PAGE OF THIS
MULTIPLE PAGE PLAT

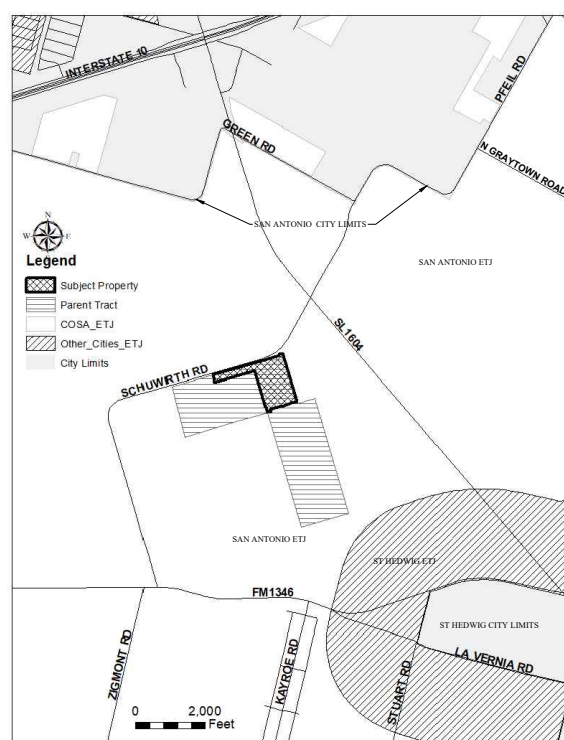
SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 6 OF 12

VISTA REAL PHASE I








CIVIL JOB NO. XXXX-XX; SURVEY JOB NO. XXXX-XX

FILE PATH



LOCATION MAP
NOT-TO-SCALE

LEGEND

AE	PEDESTRIAN ACCESS EASEMENT
BL	BUILDING SETBACK LINE
BM	BENCHMARK
C.B.	COUNTY BLOCK
DA	DRAINAGE AREA
DE	DRAINAGE EASEMENT
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— — —	INSET LINE

WASTEWATER EDU NOTE:

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WASTEWATER SERVICE CONNECTION
CPS/SAWS/COSA/UTILITY NOTE[illegible]

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF WILLIAMSON

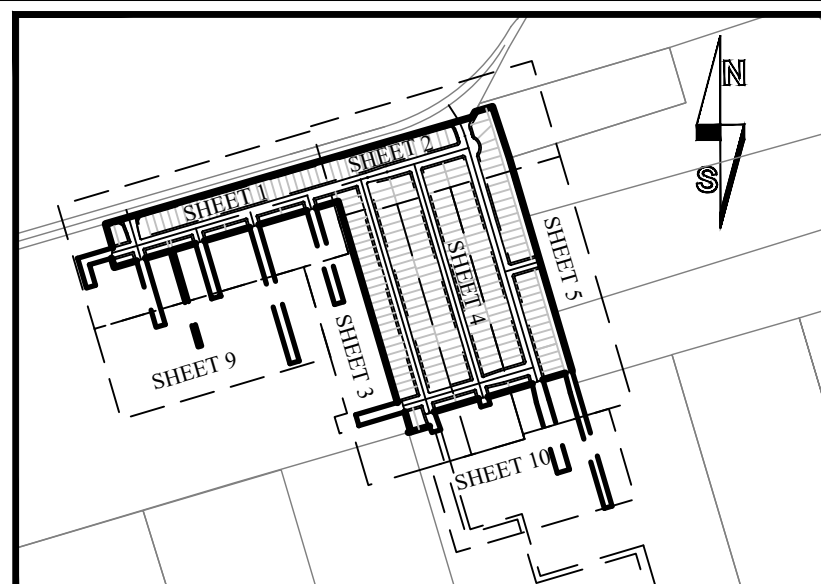
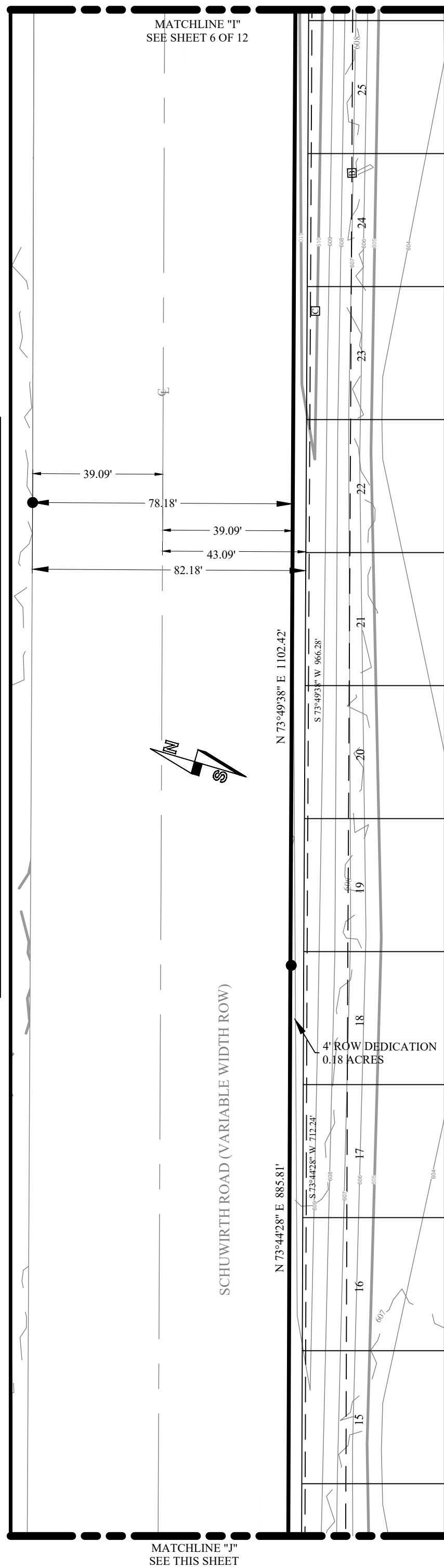
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION

LICENSED PROFESSIONAL ENGINEER

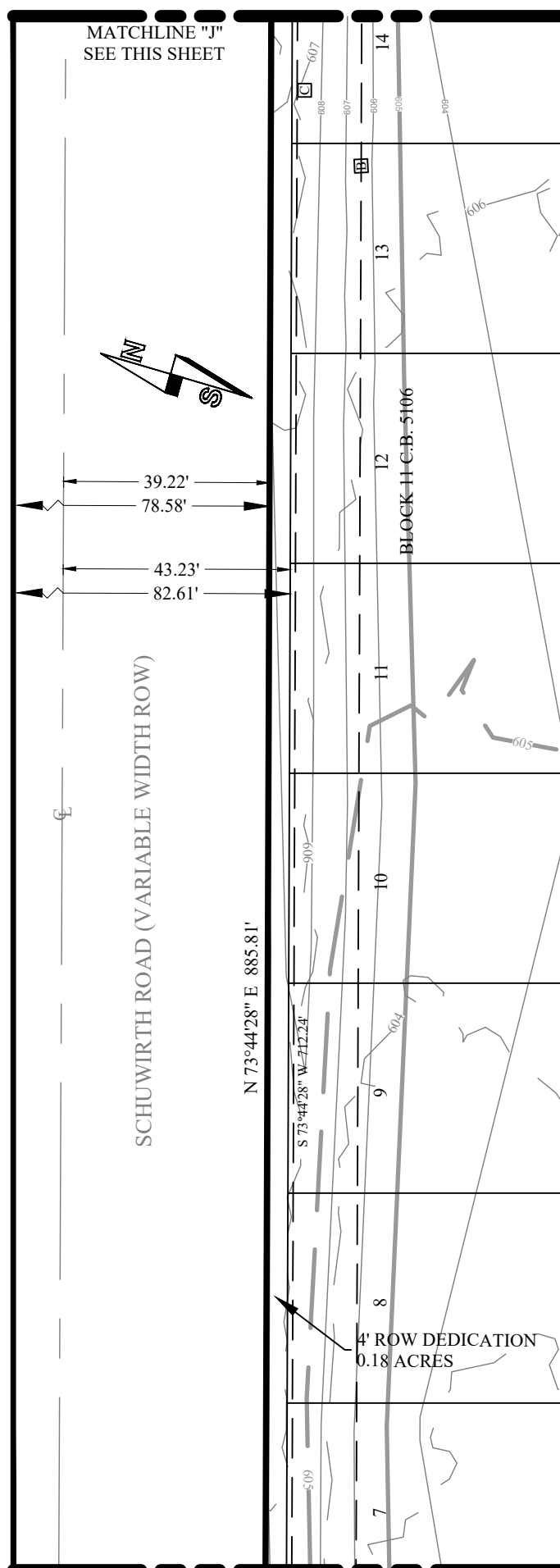
STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

REGISTERED PROFESSIONAL LAND SURVEYOR



INDEX MAP
NOT-TO-SCALE



MATCHLINE "K"
SEE SHEET 8 OF 12

PLAT NOTES APPLY TO
EVERY PAGE OF THIS
MULTIPLE PAGE PLAT

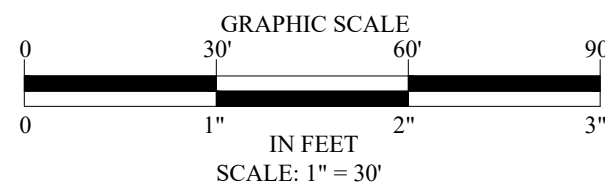
SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 7 OF 12

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF
VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 20220425610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS DAY OF , A.D. 20 .

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS DAY OF , A.D. 20 .

BY: _____ CHAIRMAN

BY: _____ SECRETARY

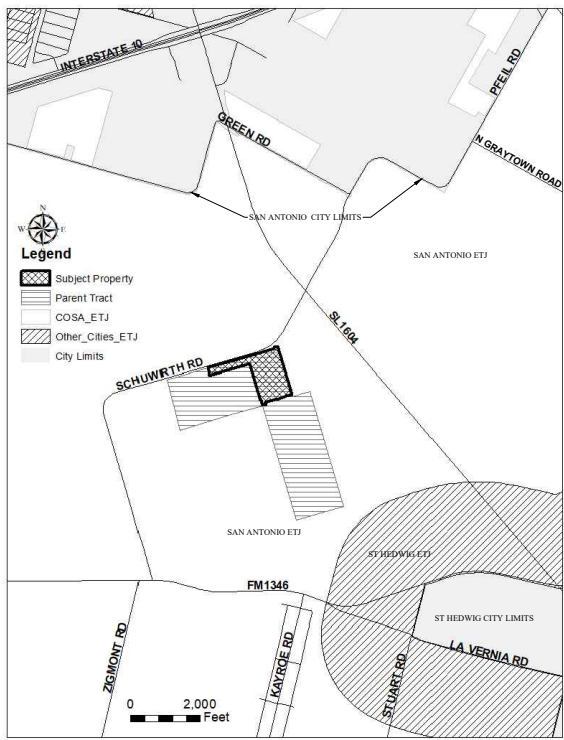
CERTIFICATE OF APPROVAL

THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS _____ DAY OF _____ A.D. 20____

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS



LOCATION MAP
NOT-TO-SCALE

LEGEND

AE	PEDESTRIAN ACCESS EASEMENT
BL	BUILDING SETBACK LINE
BM	BENCHMARK
C.B.	COUNTY BLOCK
DA	DRAINAGE AREA
DE	DRAINAGE EASEMENT
ELEV	ELEVATION
NTS	NOT TO SCALE
NO	NUMBER
POB	POINT OF BEGINNING
RE	REFERENCE
REV	REVISION
R.O.W.	RIGHT OF WAY
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
OHE	OVERHEAD OR UNDERGROUND EASEMENT
O.P.R.B.C.TX	OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
UE	UTILITY EASEMENT
WWE	WATER AND WASTEWATER EASEMENT
FWLE	FENCE WALL AND LANDSCAPE EASEMENT
FFE	FINISHED FLOOR ELEVATION
FE	FENCE EASEMENT
VAR	VARIABLE
●	1/2" IRON ROD FOUND
○	1/2" IRON ROD W/ CAP MARKED "YALGO LLC" SET
— —	CHANGE IN BEARING
⊕ NO. #	BENCHMARK
EL. ###	10' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO ROW
□	14' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO SCHUWIRTH RD ROW
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— —	EASEMENT
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CPS/SAWS/COSA UTILITY NOTE:

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2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

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STATE OF TEXAS
COUNTY OF WILLIAMSON

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LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF WILLIAMSON

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MATCHLINE "K"
SEE SHEET 7 OF 12

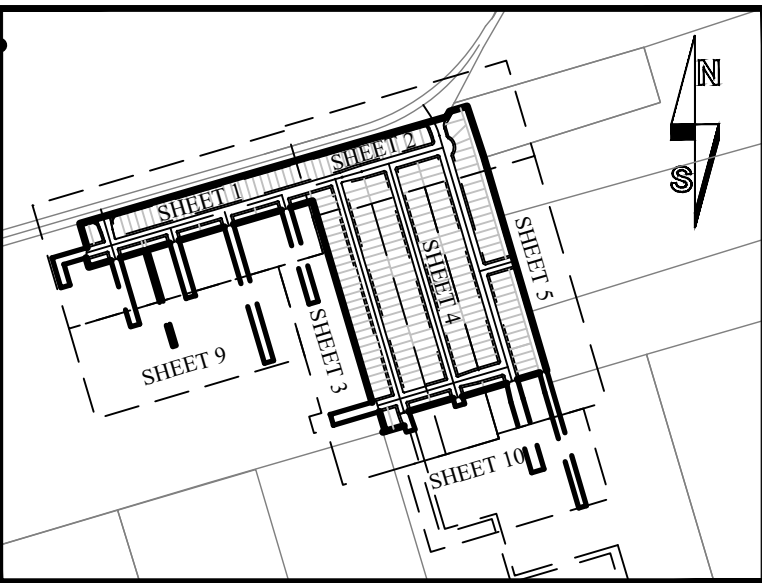
REAL WALLACE AND JOYCE TR
V. 4560, PG 1051 O.P.R. (UNPLATTED)

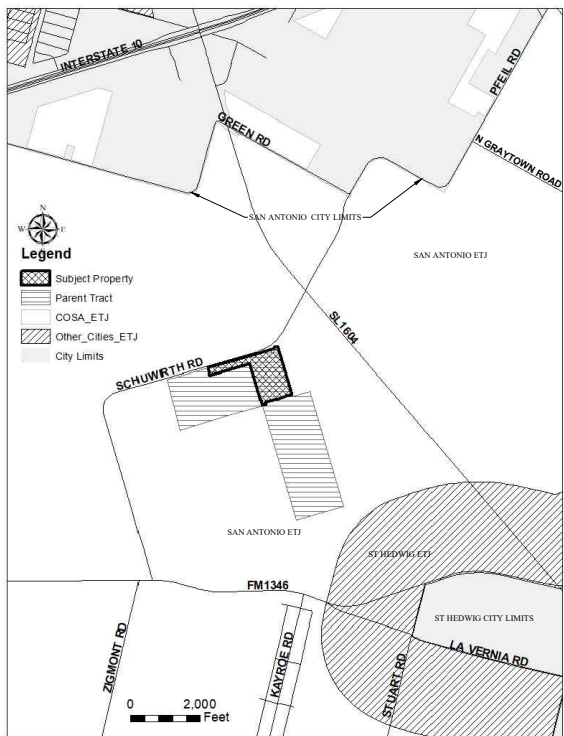
SCHUWIRTH ROAD (VARIABLE WIDTH ROW)

N 73°44'28" E 885.81'

CELENOVA STREET
(VAR. WIDTH = 50' MIN. R.O.W.)

REMAINING PORTION OF 229.06
ACRES OF W.B.W. SINGLE LAND
INVESTMENT, LLC - SERIES 119
DOC. # 20210030840 O.P.R.B.C.TX
(UNPLATTED 188.00 AC.)





LOCATION MAP
NOT-TO-SCALE

LEGEND

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BM	BENCHMARK
C.B.	COUNTY BLOCK
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STATE OF TEXAS
COUNTY OF WILLIAMSON

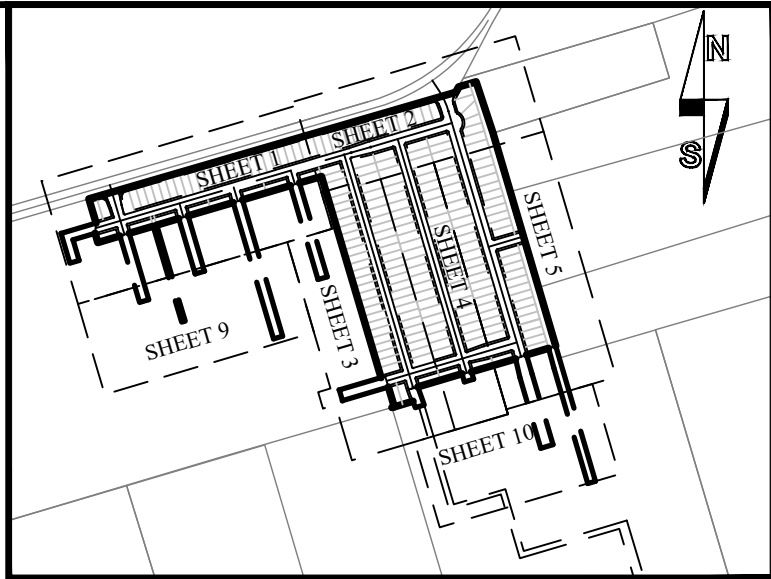
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LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF WILLIAMSON

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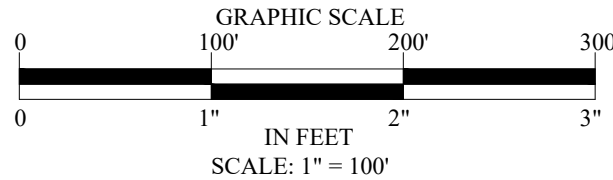


INDEX MAP
NOT-TO-SCALE

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 20220245610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____, A.D. 20 ____.

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

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DATED THIS ____ DAY OF ____, A.D. 20 ____.

BY: _____ CHAIRMAN

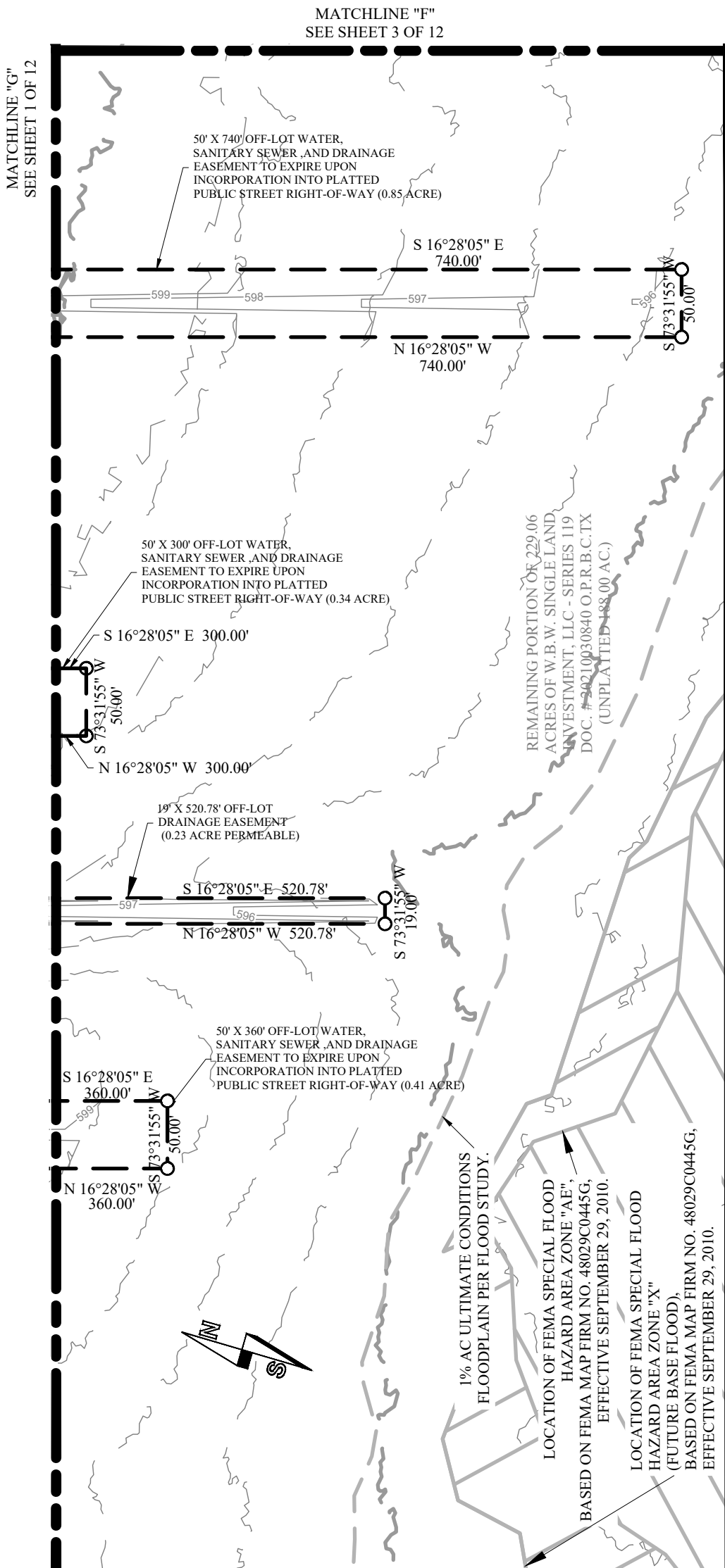
BY: _____ SECRETARY

CERTIFICATE OF APPROVAL
THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS IS HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS ____ DAY OF ____, A.D. 20 ____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

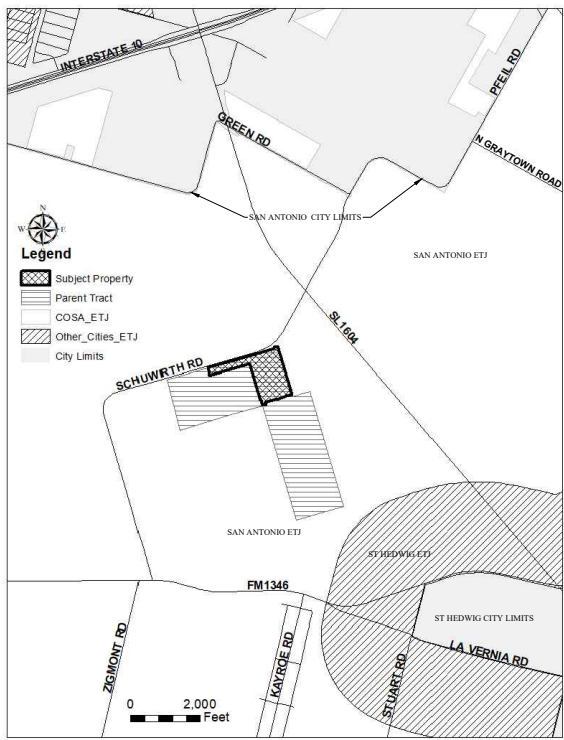
COUNTY CLERK, BEXAR COUNTY, TEXAS



PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 9 OF 12



LOCATION MAP
NOT-TO-SCALE

LEGEND

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1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF WILLIAMSON

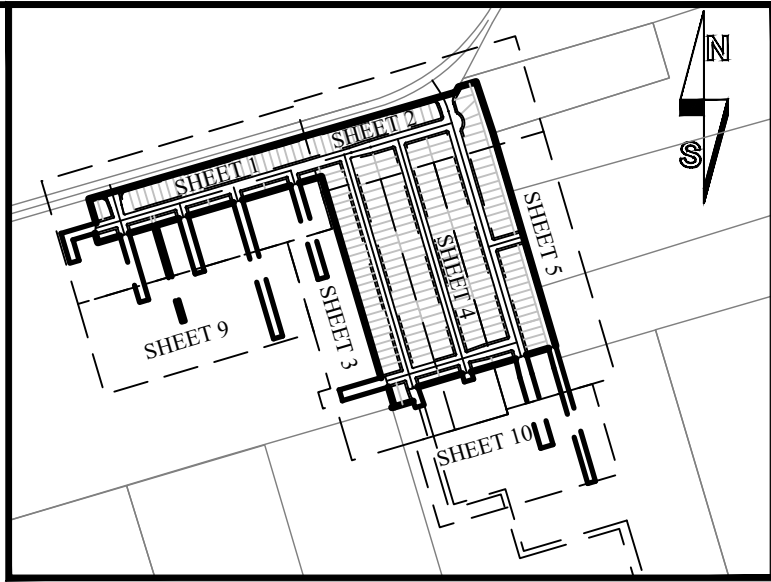
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

REGISTERED PROFESSIONAL LAND SURVEYOR

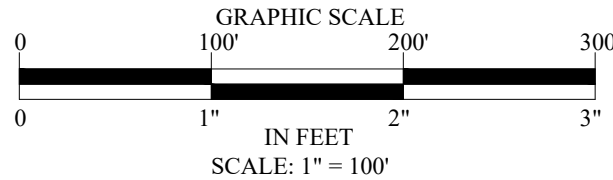


INDEX MAP
NOT-TO-SCALE

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 20220245610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, A.D. 20 ____.

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED. DATED THIS ____ DAY OF _____, A.D. 20 ____.

BY: _____
CHAIRMAN

BY: _____
SECRETARY

CERTIFICATE OF APPROVAL
THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS ____ DAY OF _____, A.D. 20 ____.

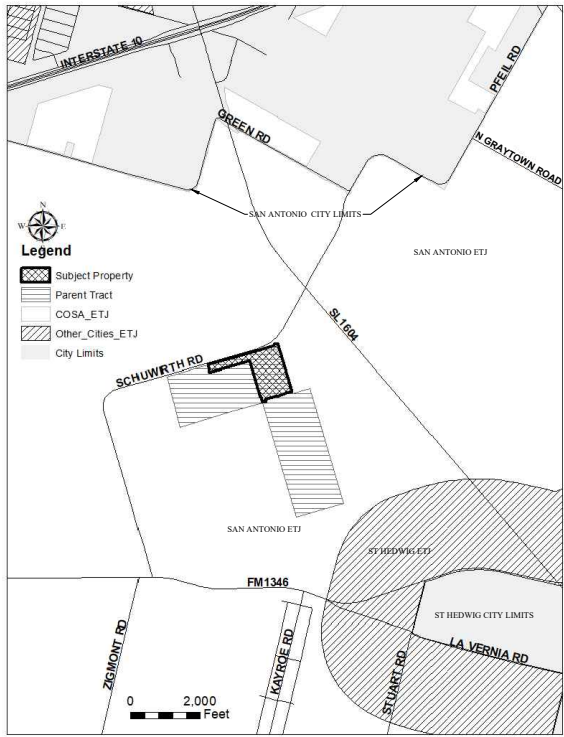
COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

PLAT NOTES APPLY TO EVERY PAGE
OF THIS MULTIPLE PAGE PLAT

SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 10 OF 12



LOCATION MAP
NOT-TO-SCALE

LEGEND

AE	PEDESTRIAN ACCESS EASEMENT
BL	BUILDING SETBACK LINE
BM	BENCHMARK
C.B.	COUNTY BLOCK
DA	DRAINAGE AREA
DE	DRAINAGE EASEMENT
ELEV	ELEVATION
NTS	NOT TO SCALE
NO	NUMBER
POB	POINT OF BEGINNING
RE	REFERENCE
REV	REVISION
R.O.W.	RIGHT OF WAY
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
OHE	OVERHEAD OR UNDERGROUND EASEMENT
O.P.R.B.C.TX	OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
UE	UTILITY EASEMENT
WWE	WATER AND WASTEWATER EASEMENT
FWLE	FENCE WALL AND LANDSCAPE EASEMENT
FFE	FINISHED FLOOR ELEVATION
FE	FENCE EASEMENT
VAR	VARIABLE
●	1/2" IRON ROD FOUND
○	1/2" IRON ROD W/ CAP MARKED "YALGO LLC" SET
— —	CHANGE IN BEARING
⊕ NO. #	BENCHMARK
EL. ###	10' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO ROW
□	14' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO SCHUWIRTH RD ROW
□	1' VEHICULAR NON-ACCESS EASEMENT
— — —	EASEMENT
— C —	STREET CENTERLINE
— — —	INSET LINE

WASTEWATER EDU NOTE:

THE NUMBER OF WASTEWATER EQUIVALENT DWELLING UNITS (EDUs) PAID FOR THIS SUBDIVISION PLAT ARE KEPT ON FILE AT THE SAN ANTONIO RIVER AUTHORITY UNDER THE PLAT NUMBER.

IMPACT FEE NOTE:

WATER AND/OR WASTEWATER IMPACT FEES WERE NOT PAID AT THE TIME OF PLATTING FOR THIS PLAT. ALL IMPACT FEES MUST BE PAID PRIOR TO WATER METER SET AND/OR PRIOR TO THE WASTEWATER SERVICE CONNECTION.

CPS/SAWS/COSA/UTILITY NOTE:

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2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

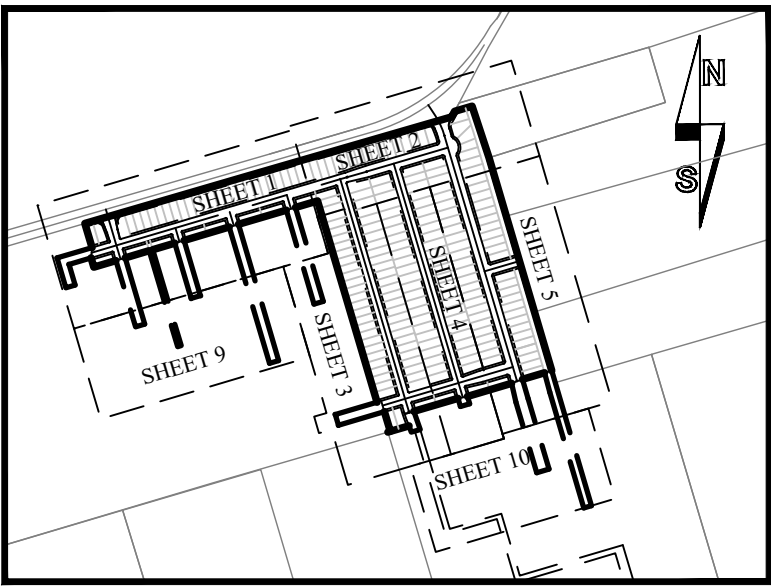
REGISTERED PROFESSIONAL LAND SURVEYOR

NOTES:

1. THE MAINTENANCE OF ALL PRIVATE STREETS, OPEN SPACE, GREENBELTS, PARKS, TREE SAVE AREAS, INCLUDING LOT 901 BLOCK 12, LOT 901 BLOCK 17, LOT 902 BLOCK 17, LOT 901 BLOCK 20, CB 5106, DRAINAGE EASEMENTS AND EASEMENTS OF ANY OTHER NATURE WITHIN THE SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS, OR THE PROPERTY OWNER'S ASSOCIATION, OR ITS SUCCESSORS OR ASSIGNS AND NOT THE RESPONSIBILITY OF THE CITY OF SAN ANTONIO OR BEXAR COUNTY.
2. NO PORTION OF THE FEMA 1% ANNUAL CHANCE (100-YEAR) FLOODPLAIN EXISTS WITHIN THIS PLAT AS VERIFIED BY FEMA MAP PANEL: 48029C0435G, EFFECTIVE SEPTEMBER 29, 2010 AND FEMA MAP PANEL: 48029C0445G DATED SEPTEMBER 29, 2010. FLOODPLAIN INFORMATION IS SUBJECT TO CHANGE AS A RESULT OF FUTURE FEMA MAP REVISIONS AND/OR AMENDMENTS.
3. RESIDENTIAL FINISHED FLOOR ELEVATIONS MUST BE A MINIMUM OF EIGHT (8) INCHES ABOVE FINAL ADJACENT GRADE.
4. NO STRUCTURE, FENCES, WALLS OR OTHER OBSTRUCTIONS THAT IMPEDE DRAINAGE SHALL BE PLACED WITHIN THE LIMITS OF THE DRAINAGE EASEMENTS SHOWN ON THIS PLAT. NO LANDSCAPING OR OTHER TYPE OF MODIFICATIONS, WHICH ALTER THE CROSS-SECTIONS OF THE DRAINAGE EASEMENTS, AS APPROVED, SHALL BE ALLOWED WITHOUT THE APPROVAL OF THE DIRECTOR OF TCI OR DIRECTOR OF PUBLIC WORKS. THE CITY OF SAN ANTONIO AND BEXAR COUNTY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS OVER THE GRANTOR'S ADJACENT PROPERTY TO REMOVE ANY IMPEDING OBSTRUCTIONS PLACED WITHIN THE LIMITS OF SAID DRAINAGE EASEMENT AND TO MAKE ANY MODIFICATIONS OR IMPROVEMENTS WITHIN SAID DRAINAGE EASEMENTS.
5. EASEMENT TO EXPIRE UPON INCORPORATION INTO PLATTED PUBLIC STREET RIGHT-OF-WAY.
6. SAN ANTONIO RIVER AUTHORITY (SARA) IS HEREBY DEDICATED THE EASEMENTS AND RIGHTS-OF-WAY FOR SANITARY SEWER COLLECTION AND TREATMENT FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "SANITARY SEWER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, OPERATING, MAINTAINING, REMOVING AND INSPECTING SANITARY SEWER PIPELINES AND COLLECTIONS SYSTEMS AND ALL NECESSARY ABOVE-GROUND OR BELOW-GROUND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LAND, THE RIGHT TO RELOCATE SAID FACILITIES WITHIN SAID EASEMENT AND RIGHT-OF-WAY AND THE RIGHT TO REMOVE FROM SAID LAND ALL TREES AND VEGETATION OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE FUNCTION OF SAID FACILITIES. IT IS AGREED AND UNDERSTOOD THAT NO BUILDINGS, STRUCTURES, CONCRETE SLABS OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH SARA.
7. THE PUBLIC WATER MAIN SYSTEM HAS BEEN DESIGNED FOR A MINIMUM FIRE FLOW DEMAND OF 1,000 GPM AT 25 PSI RESIDUAL PRESSURE TO MEET THE CITY OF SAN ANTONIO'S FIRE FLOW REQUIREMENTS FOR THE RESIDENTIAL DEVELOPMENT. THE FIRE FLOW REQUIREMENTS FOR INDIVIDUAL STRUCTURES WILL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL IN ACCORDANCE WITH THE PROCEDURES SET FORTH BY THE CITY OF SAN ANTONIO DIRECTOR OF DEVELOPMENT SERVICES AND THE SAN ANTONIO FIRE DEPARTMENT FIRE MARSHAL.
8. ALL PERMANENT CORNERS SET ARE 1/2" IRON RODS WITH CAP MARKED "YALGO LLC" UNLESS OTHERWISE NOTED HEREON. IRON RODS SET IN AREAS WHERE THERE IS AN EXPECTATION OF MOVEMENT WILL NOT BE CONSIDERED PERMANENT AND NOT MARKED ACCORDINGLY.
9. COORDINATES SHOWN ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES DERIVED FROM THE NGS COOPERATIVE CORS NETWORK.
10. DIMENSIONS SHOWN ARE GRID WITH A COMBINED SCALE FACTOR...
11. BEARINGS ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (CORS 1996), FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE.
12. THE SETBACKS ON THIS PLAT ARE IMPOSED BY THE PROPERTY OWNER OR BEXAR COUNTY AND ARE NOT SUBJECT TO ENFORCEMENT BY THE CITY OF SAN ANTONIO.
13. LOT 901, BLOCK 12; LOT 901-902, BLOCK 17; LOT 901, BLOCK 20 CB 5106, ARE DESIGNATED AS OPEN SPACE AND AS A COMMON AREA AND DRAINAGE, SEWER, WATER, ELECTRIC, GAS, TELEPHONE AND CABLE TV EASEMENT.
14. STREETS AND R.O.W. ARE PUBLIC, TO BE MAINTAINED BY CITY OF SAN ANTONIO OR BEXAR COUNTY.
15. CLEAR VISION AREAS MUST BE FREE OF VISUAL OBSTRUCTIONS IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, OR LATEST REVISION THEREOF.

SURVEYOR'S NOTE:

This project is referenced to the NAD1983 (2011) State Plane Coordinate System, Texas South Central Zone No. 4204. All bearings are grid bearings and all distances are horizontal surface distances. The Combined Correction Factor (CCF) is 0.9998406. Surface distance = Grid distance / CCF. All coordinates can be referenced to the Point of Beginning and iron rod with cap set in the south right-of-way line of Schuwirth Road. Observed coordinates for said P.O.B. are N = 13707679.46, E = 2193968.74.



INDEX MAP
NOT-TO-SCALE

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 20220245610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, A.D. 20 ____.

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.
DATED THIS ____ DAY OF _____, A.D. 20 ____.

BY: _____
CHAIRMAN

BY: _____
SECRETARY

CERTIFICATE OF APPROVAL
THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS IS HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS ____ DAY OF _____ A.D. 20 ____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

PLAT NOTES APPLY TO
EVERY PAGE OF THIS
MULTIPLE PAGE PLAT

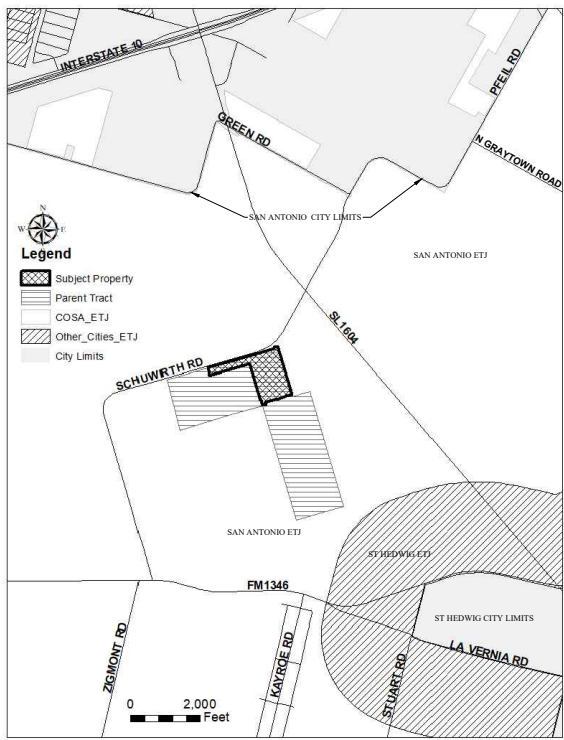
SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 11 OF 12

VISTA REAL PHASE I

CIVIL JOB NO. XXXX-XX; SURVEY JOB NO. XXXX-XX

FILE PATH



LOCATION MAP
NOT-TO-SCALE

LEGEND

AE	PEDESTRIAN ACCESS EASEMENT
BL	BUILDING SETBACK LINE
BM	BENCHMARK
C.B.	COUNTY BLOCK
DA	DRAINAGE AREA
DE	DRAINAGE EASEMENT
ELEV	ELEVATION
NTS	NOT TO SCALE
NO	NUMBER
POB	POINT OF BEGINNING
RE	REFERENCE
REV	REVISION
R.O.W.	RIGHT OF WAY
TBM	TEMPORARY BENCH MARK
TYP	TYPICAL
OHE	OVERHEAD OR UNDERGROUND EASEMENT
O.P.R.B.C.TX	OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS
UE	UTILITY EASEMENT
WWE	WATER AND WASTEWATER EASEMENT
FWLE	FENCE WALL AND LANDSCAPE EASEMENT
FFE	FINISHED FLOOR ELEVATION
FE	FENCE EASEMENT
VAR	VARIABLE
●	1/2" IRON ROD FOUND
○	1/2" IRON ROD W/ CAP MARKED "YALGO LLC" SET
	CHANGE IN BEARING
⊕ NO. #	BENCHMARK
EL. ###	10' ELECTRIC, GAS, TELEPHONE AND CABLE TV
□	EASEMENT ADJACENT TO ROW
▣	14' ELECTRIC, GAS, TELEPHONE AND CABLE TV
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▥	1' VEHICULAR NON-ACCESS EASEMENT
— — —	EASEMENT
— ⊕ —	STREET CENTERLINE
— — —	INSET LINE

WASTEWATER EDU NOTE:

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1. THE CITY OF SAN ANTONIO AS PART OF ITS ELECTRIC, GAS, WATER, AND WASTEWATER SYSTEMS - CITY PUBLIC SERVICE BOARD (CPS ENERGY) AND SAN ANTONIO WATER SYSTEMS (SAWS) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT," "ANCHOR EASEMENT," "SERVICE EASEMENT," "OVERHANG EASEMENT," "UTILITY EASEMENT," "GAS EASEMENT," "TRANSFORMER EASEMENT," "WATER EASEMENT," "SANITARY SEWER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY AND SAWS SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTORS' ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF WATER, SEWER, GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURES, CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.

2. ANY CPS ENERGY OR SAWS MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS ENERGY OR SAWS INFRASTRUCTURE AND SERVICE FACILITIES, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.

3. THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE TV EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED HEREON.

4. CONCRETE DRIVEWAY APPROACHES ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN LOTS ARE SERVED ONLY BY UNDERGROUND ELECTRIC AND GAS FACILITIES.

5. ROOF OVERHANGS ARE ALLOWED WITHIN THE FIVE (5) AND TEN (10) FOOT WIDE ELECTRIC AND GAS EASEMENTS WHEN ONLY UNDERGROUND ELECTRIC AND GAS FACILITIES ARE PROPOSED OR EXISTING WITHIN THOSE FIVE (5) AND TEN (10) FOOT WIDE EASEMENTS.

STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING COMMISSION

LICENSED PROFESSIONAL ENGINEER

STATE OF TEXAS
COUNTY OF WILLIAMSON

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

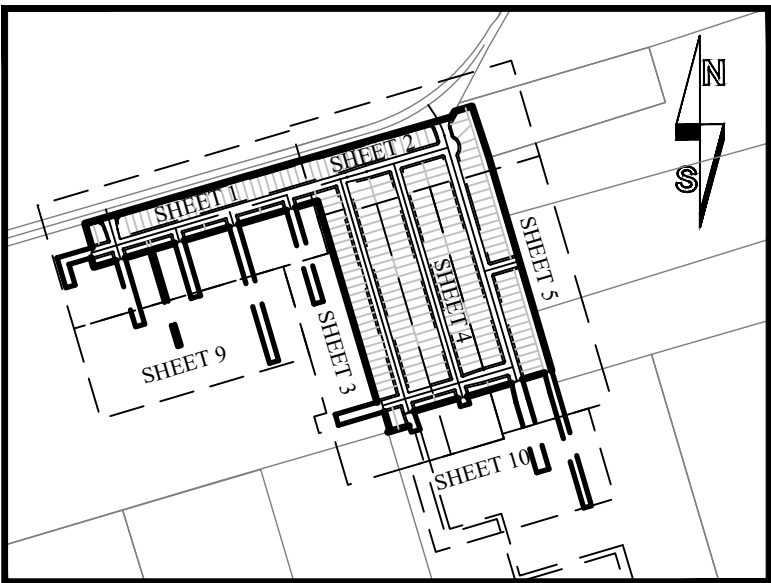
REGISTERED PROFESSIONAL LAND SURVEYOR

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 16°28'05" E	75.00'
L2	S 16°28'05" E	75.00'
L3	S 16°28'05" E	75.00'
L4	S 16°28'05" E	75.00'
L5	INENTIONALLY OMITTED	
L6	INENTIONALLY OMITTED	
L7	INENTIONALLY OMITTED	
L8	S 16°28'05" E	50.00'
L9	S 16°28'05" E	50.00'
L10	S 16°28'05" E	50.00'
L11	S 16°28'05" E	50.00'
L12	N 73°31'55" E	19.00'
L13	N 73°31'55" E	19.00'
L14	N 73°49'07" E	4.34'
L15	N 16°01'37" W	50.50'
L16	N 16°28'05" W	50.00'
L17	N 73°31'55" E	5.00'
L18	N 71°26'56" E	35.02'
L19	S 71°26'56" W	40.03'
L20	S 71°26'56" W	35.00'
L21	N 73°31'55" E	5.02'
L22	S 73°31'55" W	5.00'
L23	S 73°31'55" W	35.00'
L24	N 73°31'55" E	22.94'
L25	N 16°28'05" W	50.00'
L26	S 18°36'18" E	47.27'
L27	S 14°19'52" E	47.27'
L28	N 28°40'03" E	23.03'
L29	S 28°40'03" W	38.46'
L30	S 21°13'54" E	61.48'
L31	S 11°42'16" E	60.36'
L32	S 16°28'05" E	155.51'

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	400.00'	84.65'	84.49'	N 22°31'50" W	12°07'30"
C2	500.00'	7.39'	7.39'	S 16°53'30" E	0°50'49"
C3	400.00'	5.00'	5.00'	S 73°53'23" W	0°42'58"
C4	400.00'	3.76'	3.76'	N 73°48'04" E	0°32'18"
C5	45.00'	19.20'	19.06'	N 16°26'31" E	24°27'03"
C6	45.00'	19.20'	19.06'	N 08°00'25" W	24°26'51"
C7	15.75'	12.14'	11.84'	S 38°33'05" E	44°10'00"
C8	55.00'	14.97'	14.92'	S 52°50'22" E	15°35'27"
C9	55.00'	30.70'	30.30'	S 29°03'11" E	31°58'56"
C10	55.00'	44.45'	43.25'	S 10°05'26" W	46°18'18"
C11	INTENTIONALLY OMITTED				
C12	15.75'	13.67'	13.24'	N 08°23'15" E	49°42'40"
C13	10.00'	15.71'	14.14'	S 61°28'05" E	90°00'00"
C14	10.00'	15.71'	14.14'	S 28°31'55" W	90°00'00"
C15	10.00'	15.71'	14.14'	N 61°28'05" W	90°00'00"
C16	10.00'	15.71'	14.14'	S 28°31'55" W	90°00'00"
C17	5.00'	7.85'	7.07'	S 28°31'55" W	90°00'00"
C18	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C19	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C20	5.00'	7.85'	7.07'	S 28°31'55" W	90°00'00"
C21	5.00'	7.85'	7.07'	N 28°31'55" E	90°00'00"
C22	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C23	5.00'	7.85'	7.07'	S 28°31'55" W	90°00'00"
C24	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C25	10.00'	15.71'	14.14'	S 61°28'05" E	90°00'00"
C26	10.00'	15.71'	14.14'	S 28°31'55" W	90°00'00"
C27	10.00'	15.71'	14.14'	S 61°28'05" E	90°00'00"
C28	5.00'	7.85'	7.07'	S 28°31'55" W	90°00'00"
C29	5.00'	7.85'	7.07'	N 61°28'05" W	90°00'00"
C30	5.00'	7.85'	7.07'	S 28°31'55" W	90°00'00"
C31	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C32	5.00'	7.85'	7.07'	S 28°31'55" W	90°00'00"
C33	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C34	5.00'	7.85'	7.07'	N 28°31'55" E	90°00'00"
C35	5.00'	7.85'	7.07'	N 61°28'05" W	90°00'00"
C36	5.00'	7.85'	7.07'	N 28°31'55" E	90°00'00"
C37	5.00'	7.85'	7.07'	S 61°28'05" E	90°00'00"
C38	5.00'	8.04'	7.20'	S 27°27'48" W	92°08'13"
C39	15.00'	22.26'	20.27'	S 63°44'43" E	85°01'38"
C40	15.00'	22.37'	20.35'	S 31°01'06" W	85°26'44"
C41	5.00'	8.04'	7.20'	S 60°23'59" E	92°08'13"
C42	15.00'	23.56'	21.21'	N 28°31'55" E	90°00'00"
C43	INTENTIONALLY OMITTED				
C44	525.00'	7.39'	7.39'	N 16°52'17" W	0°48'24"
C45	475.00'	7.39'	7.39'	S 16°54'50" E	0°53'29"
C46	500.00'	4.21'	4.21'	S 16°13'37" E	0°28'57"
C47	530.00'	2.15'	2.15'	N 16°21'07" W	0°13'57"
C48	525.00'	48.56'	48.54'	S 19°55'27" E	5°17'57"
C49	475.00'	16.75'	16.75'	S 21°33'49" E	2°01'15"
C50	35.00'	49.97'	45.83'	S 65°16'11" E	81°48'22"
C51	365.00'	50.32'	50.28'	N 20°25'02" W	7°53'54"
C52	470.00'	6.27'	6.27'	N 16°05'09" W	0°45'52"
C53	435.00'	28.57'	28.56'	N 18°20'58" W	3°45'46"

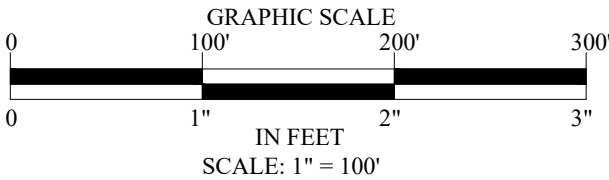


INDEX MAP
NOT-TO-SCALE

PLAT NUMBER 20 - 11800536

SUBDIVISION PLAT OF VISTA REAL PHASE I

BEING A 41.06 ACRE TRACT (INCLUSIVE OF 0.18 ACRE R.O.W. DEDICATION AND INCLUSIVE OF A TOTAL OF 4.69 ACRE OFF-LOT EASEMENTS) OF LAND OUT OF THE D. REYES SURVEY, ABSTRACT NO. 618, BEXAR COUNTY, TEXAS, AND BEING A PART OF A CALLED 41.06 ACRE TRACT OF LAND AS DESCRIBED BY A DEED TO WBW SINGLE DEVELOPMENT GROUP LLC - SERIES 130, RECORDED DOC. NO. 20220245610 OFFICIAL PUBLIC RECORD OF REAL PROPERTY OF BEXAR COUNTY, TEXAS.



Yalgo, LLC

109 W. 2nd St., Suite 201, Georgetown, Tx 78626
PH (254) 953-5353 FX (254) 953-5057
Texas Registered Engineering Firm F-10264

STATE OF TEXAS
COUNTY OF WILLIAMSON

THE OWNER OF LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER/DEVELOPER: BRUCE WHITIS, PRESIDENT
WBW SINGLE DEVELOPMENT GROUP, LLC - SERIES 130
109 W. 2ND ST., STE 201
GEORGETOWN, TX 78626

STATE OF TEXAS
COUNTY OF WILLIAMSON

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED BRUCE WHITIS KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND THE CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, A.D. 20 ____.

NOTARY PUBLIC, WILLIAMSON COUNTY, TEXAS

THIS PLAT OF VISTA REAL PHASE I HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF SAN ANTONIO, TEXAS IS HEREBY APPROVED BY SUCH COMMISSION IN ACCORDANCE WITH STATE OR LOCAL LAWS AND REGULATIONS; AND/OR WHERE ADMINISTRATIVE EXCEPTION(S) AND/OR VARIANCE(S) HAVE BEEN GRANTED.

DATED THIS ____ DAY OF _____, A.D. 20 ____.

BY: _____
CHAIRMAN

BY: _____
SECRETARY

CERTIFICATE OF APPROVAL
THE UNDERSIGNED, COUNTY JUDGE OF BEXAR COUNTY, TEXAS AND PRESIDING OFFICER OF THE COMMISSIONERS COURT OF BEXAR COUNTY, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY FILLED WITH THE COMMISSIONERS COURT OF BEXAR COUNTY, TEXAS AND THAT AFTER EXAMINATION IT APPEARED THAT SAID PLAT IS IN CONFORMITY WITH THE STATUTES, RULES AND REGULATIONS GOVERNING SAME, AND THIS PLAT WAS APPROVED BY THE SAID COMMISSIONERS COURT.

DATED THIS ____ DAY OF _____, A.D. 20 ____.

COUNTY JUDGE, BEXAR COUNTY, TEXAS

COUNTY CLERK, BEXAR COUNTY, TEXAS

PLAT NOTES APPLY TO
EVERY PAGE OF THIS
MULTIPLE PAGE PLAT

SEE SHEET 12 OF 12 FOR LINE
AND CURVE TABLES

SHEET 12 OF 12